

**VILLAGE OF DEERFIELD
NOTICE OF PLANNING COMMISSION / ECONOMIC DEVELOPMENT
COMMITTEE MEETING**

JULY 18, 2022

**The Planning Commission/Economic Development Committee will meet on the above date at 6:00pm at the
Deerfield Community Center, 10 liberty St, Deerfield, WI.**

Agenda as follows:

- I. CALL TO ORDER – NOTING OF ROLL BY CLERK**
- II. CONSENT AGENDA**
 - A. APPROVAL OF MINUTES FROM APRIL 18, 2022**
- III. PUBLIC APPEARANCES/COMMENTS - Public's opportunity to speak**
- IV. NEW BUSINESS**
 - A. REVIEW & ACTION**
 - 1. DISCUSS/CONSIDER BUILDING/LANDSCAPING PLAN FOR BCP**
- V. STAFF REPORTS/COMMUNICATION**
- VI. ADJOURN**

Notice is hereby given that it is possible that a majority of the Village Board or other governmental body may be present at the above meeting of the PLANNING COMMISSION AND ECONOMIC DEVELOPMENT COMMITTEE to gather information about a subject over which they have ultimate decision-making responsibility. If such a majority is present, it will constitute a meeting of the Village Board or other governmental body under Wisconsin's Open Meeting Laws and is hereby being noticed as such, although only the PLANNING COMMISSION AND ECONOMIC DEVELOPMENT COMMITTEE will take formal action at the above meeting.

If you require an interpreter, materials in alternate formats, or other accommodations to access this meeting, please contact the Village Clerk at 764-5404 at least 24 hours prior to the meeting.

Elizabeth McCredie, Clerk
Village of Deerfield

Posted 7/14/2022

PLANNING COMMISSION / ECONOMIC DEVELOPMENT COMMITTEE

MINUTES FROM APRIL 18, 2022

CALL TO ORDER – NOTING OF ROLL BY CLERK

The meeting was called to order at 6:01 by Chair Tebon. Roll call: Evensen, Quamme, Riesop, G Frutiger, C Frutiger and Tebon present. Also present: Attorney Jared Smith, Engineer Brian Berquist, Engineer Chad and Dave Lemke.

CONSENT AGENDA

Motion by Tebon, to approve the April 18, 2022 agenda as posted, seconded by G Frutiger. Motion carried by a voice vote of 6-0-0.

A. APPROVAL OF MINUTES FROM MARCH 21, 2022

Motion by Tebon to approve the minutes from March, 21, 2022 as amended, seconded by Quamme. Motion carried by a voice vote of 6-0-0.

PUBLIC APPEARANCES/COMMENTS - Public's opportunity to speak - none

NEW BUSINESS

A. REVIEW & ACTION

1. DISCUSS/CONSIDER COMMERCIAL PARK DEVELOPMENT, SPECIFICALLY THE FOLLOWING (DISCUSSION AND ACTION MAY NOT NECESSARILY TAKE PLACE IN THIS ORDER):

- a. **RECOMMEND THE VILLAGE BOARD APPROVE THE AGREEMENT TO UNDERTAKE DEVELOPMENT (WOODS EDGE COMMERCIAL – IMPROVEMENT AND DEDICATION OF WOODS EDGE ROAD)**
- b. **RECOMMEND THE VILLAGE BOARD APPROVE THE MEMORANDUM OF AGREEMENT BETWEEN THE VILLAGE AND THE WISCONSIN DOT REGARDING CHANGES IN ACCESS/INTERSECTION RECONSTRUCTION STH 73 AND WOODS EDGE DRIVE**
- c. **UPDATED MSA DOCUMENTS RELATED TO POST-DEVELOPMENT STORMWATER MANAGEMENT FOR WOODS EDGE COMMERCIAL PARK DEVELOPMENT**
- d. **RECOMMEND THE VILLAGE BOARD APPROVE THE WOODS EDGE COMMERCIAL PARK DEVELOPMENT STORMWATER MANAGEMENT FACILITY LONG TERM MAINTENANCE STATEMENT**

The members reviewed and discussed the Agreement to Undertake Development for improvement at the Woods Edge development and dedication of the Woods Edge Road, the Memorandum of Agreement between the Village and WI DOT for changes in the access/intersection reconstruction to STH 73 and Woods Edge Dr., documents from MSA related to post-development stormwater management and development of the Stormwater Management Facility Long Term Maintenance statement for the Woods Edge Commercial Park development. Motion by Tebon, to approve and recommend to the Village Board acceptance of a maintenance statement for the stormwater management facility long term maintenance, Deed Restriction notice and a memorandum of agreement between the Village and WisDOT from Hwy 73 to Woods Edge Drive with the Outlot being dedicated to the Village upon construction subject to Attorney Smith's approval with changes. Motion carried by a voice vote of 6-0-0.

STAFF REPORTS/COMMUNICATION

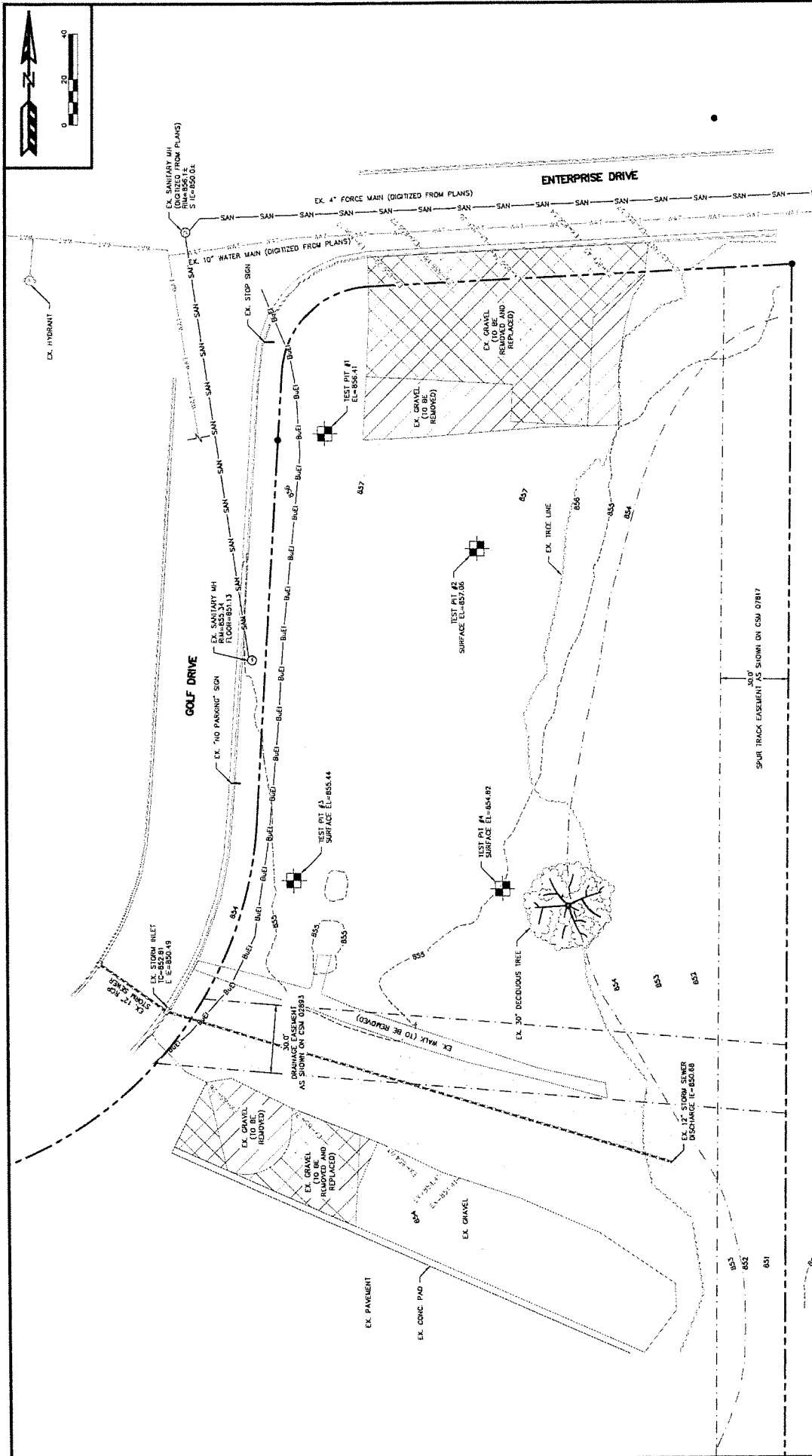
McCredie inform the members that there will be a joint Planning Commission/Village Board meeting on May 9th to discuss undertaking development and associated document related to the Woods Edge Development and construction of public improvements

ADJOURN

Motion by Tebon to adjourn at 6:30pm, seconded by Evensen. Motion carried by a voice vote of 6-0-0.

/S/ Elizabeth McCredie
Village Administrator/Clerk-Treasurer

These minutes represent the general subject matter discussed in this meeting but do not reflect a verbatim documentation of the subjects and conversations that took place.



BCP TRANSPORTATION BUILDING

EXISTING SITE PLAN

SHEET C-1

DATED: JUNE 2, 2022

QUAM ENGINEERING, LLC

Residential and Commercial Site Design Consultants

4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558

Phone (608) 838-7750 Fax (608) 838-7752

www.quamengineering.com

LEGEND FOR COMMON LINES:

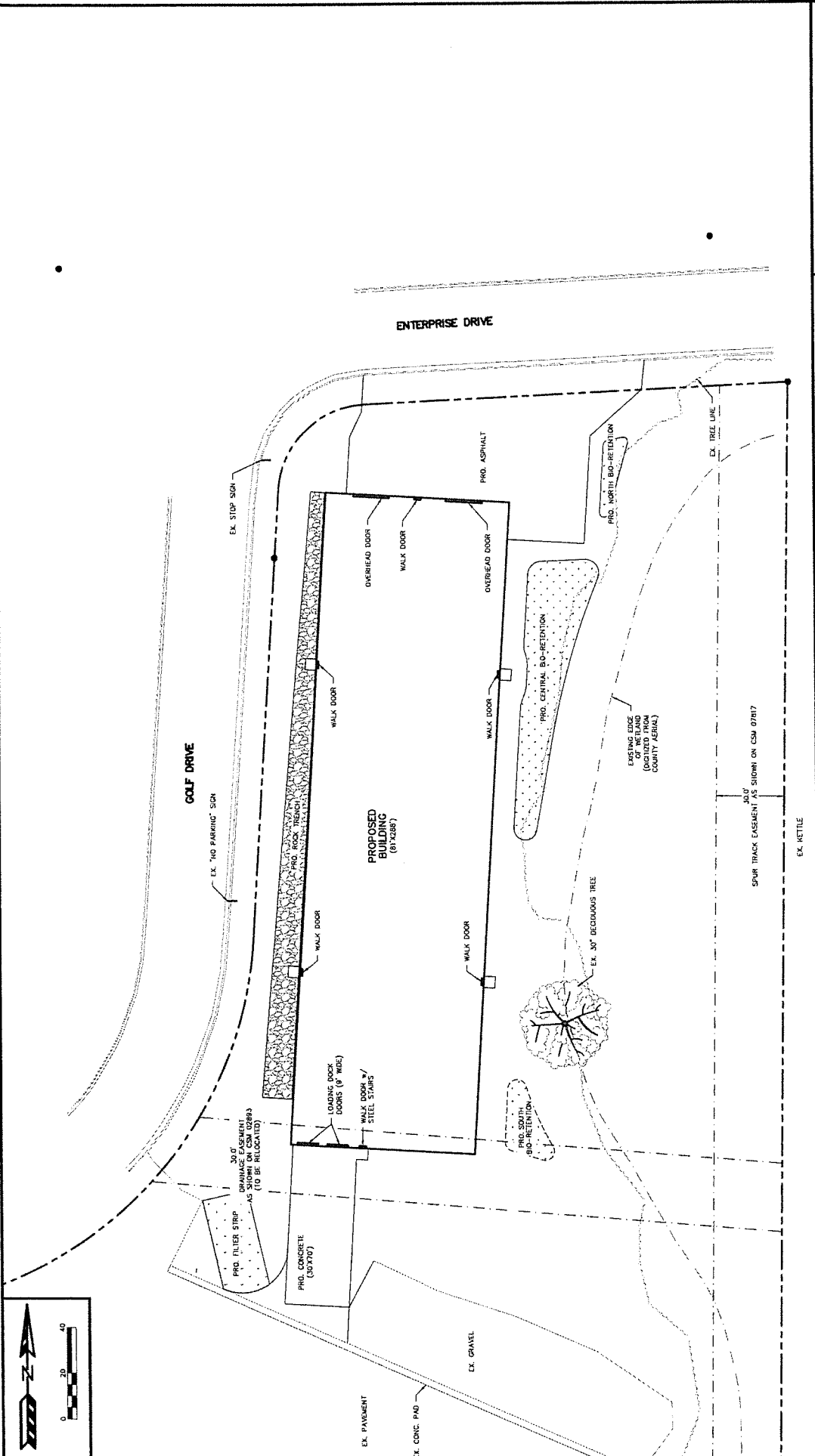
- BSA - EXISTING MAJOR CONTOUR
- BSL - EXISTING MAJOR CONTOUR
- EL - EXISTING ELEVATION
- EL - EXISTING ELEVATION
- EL - EXISTING ELEVATION
- EL - EXISTING ELEVATION

EXISTING UTILITY NOTES:

EXISTING UTILITIES SHOWN HEREIN WERE REQUESTED THROUGH THE COURTESY OF THE CITY OF MCFARLAND, WISCONSIN. BY OTHERS. UNDERGROUND UTILITY MARKINGS WERE COLLECTED DURING THE TOPOGRAPHIC COLLECTION PERFORMED JANUARY 18, 2022.

EXISTING SITE PLAN NOTES:

EXISTING SITE PLAN NOTES: THE SITE PLAN IS A REPRESENTATION OF THE SITE AS SHOWN ON THE SITE. ALL SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN HEREIN.



BCP TRANSPORTATION BUILDING

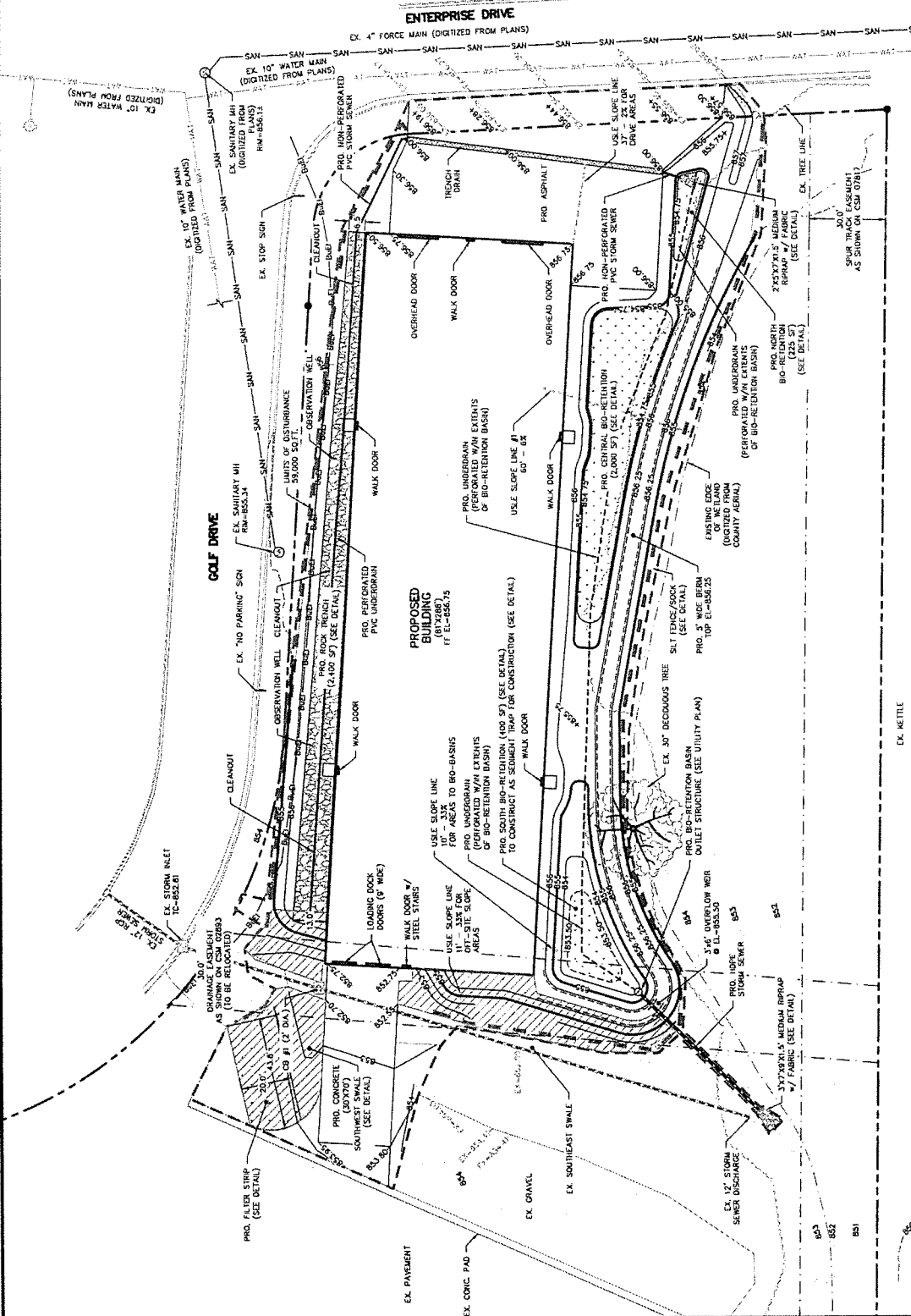
SITE PLAN

SHEET: C-2
DATED: JUNE 2, 2022

QUAM ENGINEERING, LLC

RESIDENTIAL AND COMMERCIAL SAVE DESIGN CONSULTANTS
www.sugmengineering.com

4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752



EROSION NOTES:

THE EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE THROWING OF MUD OR FINE SEDIMENT INTO THE EXISTING DRAINAGE SYSTEM. THE EROSION PROTECTION SHALL BE MAINTAINED IN A CONDITION WHICH WILL BE REMOVED BY STREET CLEANING (NOT INTEGRAL FLUSHING) BEFORE THE END OF EACH WORKDAY.

UNDERGROUND UTILITIES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MARKED FOR ABOVE GROUND UTILITIES WITH VISIBLE MARKERS. ALL MARKERS SHALL BE INSPECTED AT LEAST MONTHLY FOR 24 HOURS OF A 0.3 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

NOISE AND VIB. LOGS SHALL BE NO GREATER THAN 2-1

[illegible]

DATE	DESCRIPTION	AMOUNT	CHECK NO.	ACCOUNT NO.	ACCOUNT NAME	ACCOUNT TYPE	ACCOUNT BALANCE
JUNE 27, 2023	ADULT INITIAL LONDON COUNCIL SERVICE	10.00			ADULT INITIAL LONDON COUNCIL SERVICE	ADULT INITIAL LONDON COUNCIL SERVICE	10.00
JUNE 27 - JULY 11, 2023	ADULT INITIAL LONDON COUNCIL SERVICE	10.00			ADULT INITIAL LONDON COUNCIL SERVICE	ADULT INITIAL LONDON COUNCIL SERVICE	10.00
JULY 11, 2023	ADULT INITIAL LONDON COUNCIL SERVICE	10.00			ADULT INITIAL LONDON COUNCIL SERVICE	ADULT INITIAL LONDON COUNCIL SERVICE	10.00
JULY 11, 2023 - MAY 1, 2023	ADULT INITIAL LONDON COUNCIL SERVICE	10.00			ADULT INITIAL LONDON COUNCIL SERVICE	ADULT INITIAL LONDON COUNCIL SERVICE	10.00
AUG 11, 2023	ADULT INITIAL LONDON COUNCIL SERVICE	10.00			ADULT INITIAL LONDON COUNCIL SERVICE	ADULT INITIAL LONDON COUNCIL SERVICE	10.00
FEBRUARY 1, 2023	ADULT INITIAL LONDON COUNCIL SERVICE	10.00			ADULT INITIAL LONDON COUNCIL SERVICE	ADULT INITIAL LONDON COUNCIL SERVICE	10.00
MAY 1 - 15, 2023	ADULT INITIAL LONDON COUNCIL SERVICE	10.00			ADULT INITIAL LONDON COUNCIL SERVICE	ADULT INITIAL LONDON COUNCIL SERVICE	10.00

[illegible]

SEEDING FROM SEPTEMBER IS THROUGH NOVEMBER 1 SHOULD BE AVOIDED TO PREVENT
 INSTEAD OF USING POWERED SEEDING EQUIPMENT, WHICH CAN BE USED TO CRIMP TALLER
 NOT RESULT IN AT LEAST TWO COWS PER ACRE BY MAY 15. ADDITIONAL SEEDING SHALL BE
 REQUIRED.

ENGINEER:
 OJAM INVESTMENTS, LLC
 4501 SUGARLOAF ROAD, SUITE A
 MCANALAN, MO 63058

BID PROPERTIES, LLC
 DEPT. 100
 DEERFIELD, MO 63013

[illegible]

BCP TRANSPORTATION BUILDING
GRAVING AND EROSION CONTROL PLAN
 SHEET: C-3
 DATED: JUNE 2, 2022

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com

4604 Signalton Road, Suite A - Mequon, Wisconsin 53056



Phone (608) 838-7750; Fax (608) 838-7752

LEGEND FOR COMMON LINES:

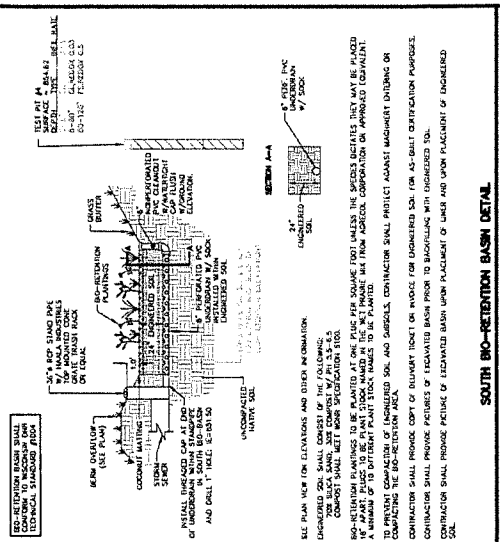
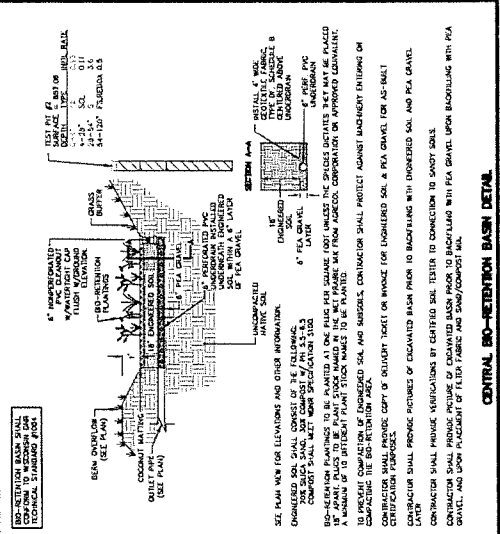
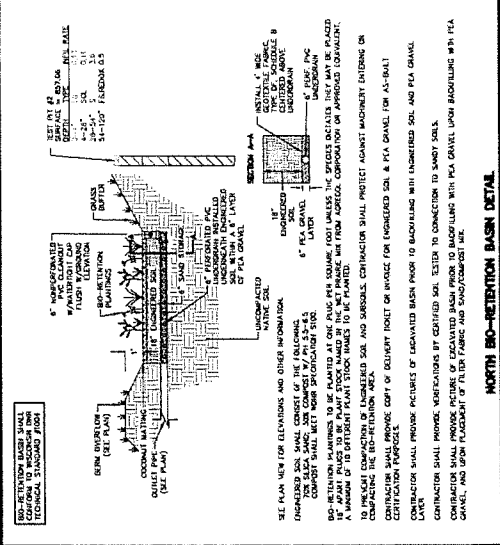
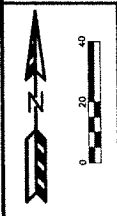
	EXISTING MAJOR CONTOUR		EXISTING MAJOR CONTOUR
	PROPERTY LINE		EXISTING SURFED ELECTRIC LINE
			
			
			
			
			
			

 - INSTALL NUISANCE CLASS 1 TYPE II EMISSION MAT
 - INSTALL FLOODSTORM CATCH-IT INLET PROTECTION
 - AREAS TO BE DETP BUILT (4,000 SF)

LAWN AREAS SOUTH OF THE BUILDING SHALL BE OVERSEEDING. THE SEEDING SHALL BE OBTAINED ON THE PLAN. DEEP TILLING SHALL BE PERFORMED IN ACCORDANCE WITH THE DADE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL. SOIL IN AREAS TO BE DEEP TILLED SHALL BE OBTAINED AT THE SAME SOURCE AS THE SOIL TO BE COMPACTED. TILLING SHALL BE PERFORMED ON THE CONTIGUOUS SHANKS. SHALL BE SPACED 4'-5' APART.

1

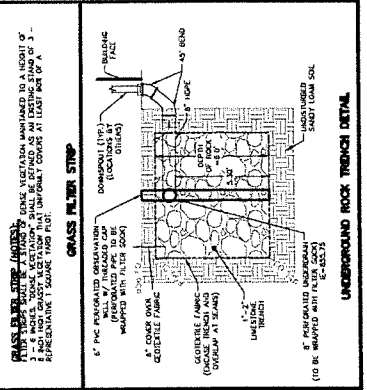
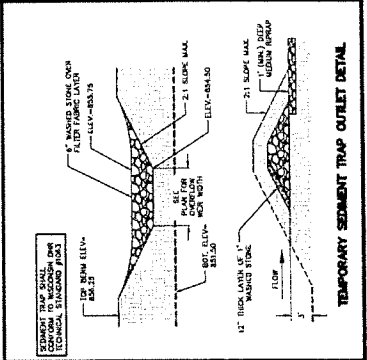
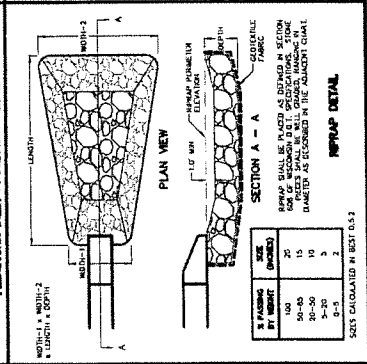
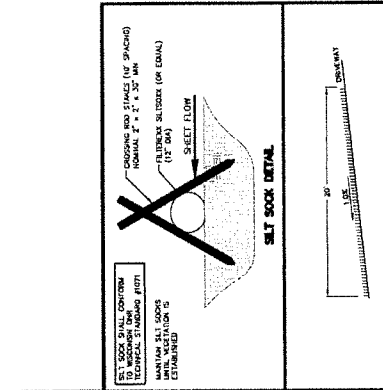
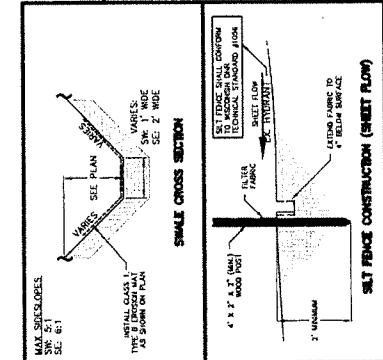
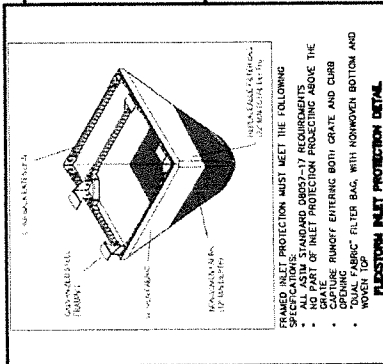
P



SOUTH BIO-RETENTION BASIN DETAIL

CENTRAL BIO-RETENTION BASIN DETAIL

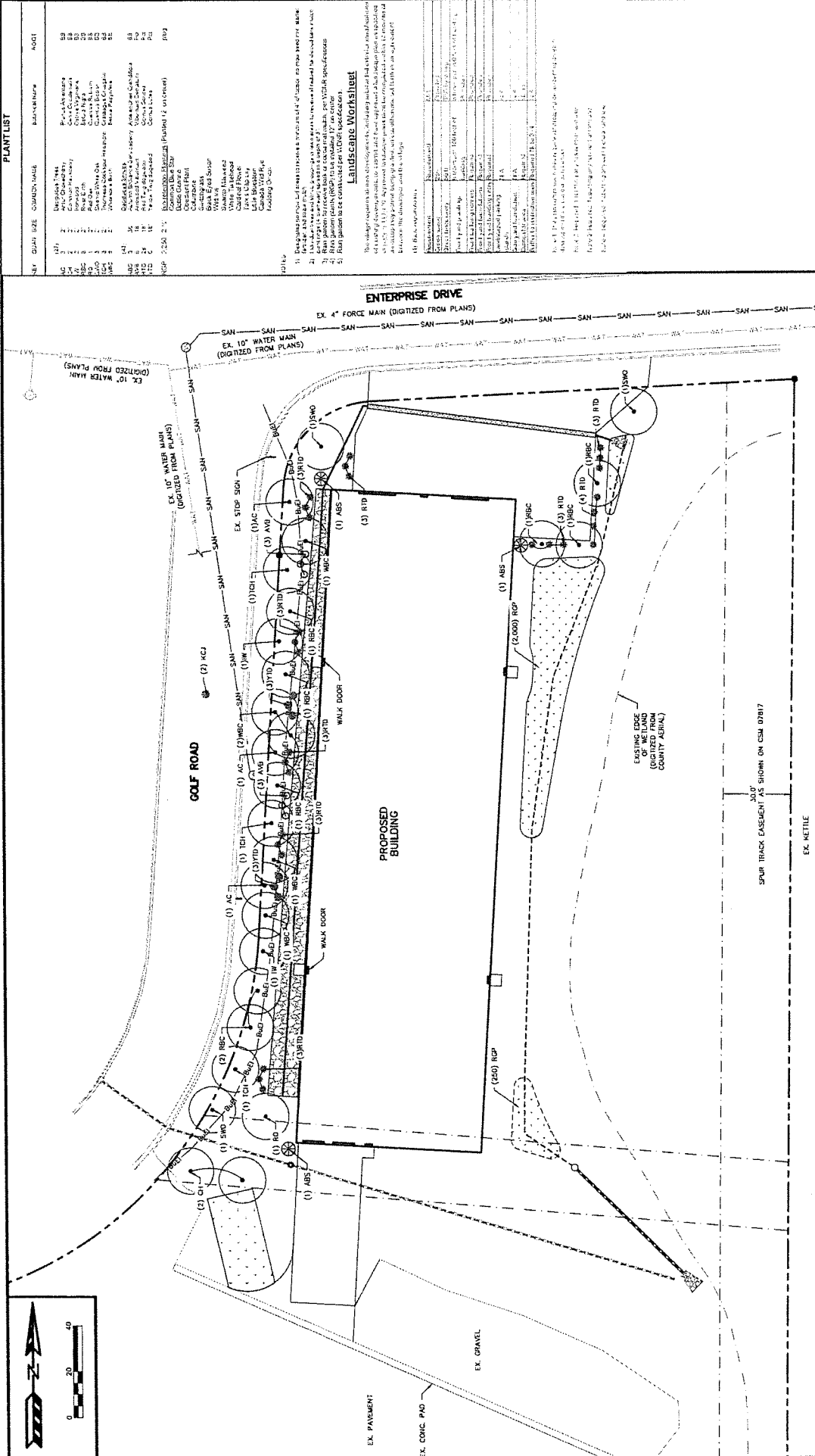
NORTH BIO-RETENTION BASIN DETAIL



BCP TRANSPORTATION BUILDING
GRADING AND EROSION CONTROL DETAILS
SHEET: C-4
DATE: JUNE 2, 2022

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

 www.quamengineering.com
4604 Sigelgale Road, Suite A - Menasha, Wisconsin 54558
Phone (608) 832-7750; Fax (608) 832-7752



BCP TRANSPORTATION BUILDING

LANDSCAPE PLAN

SHEET: C-6

DATED: JUNE 2, 2022

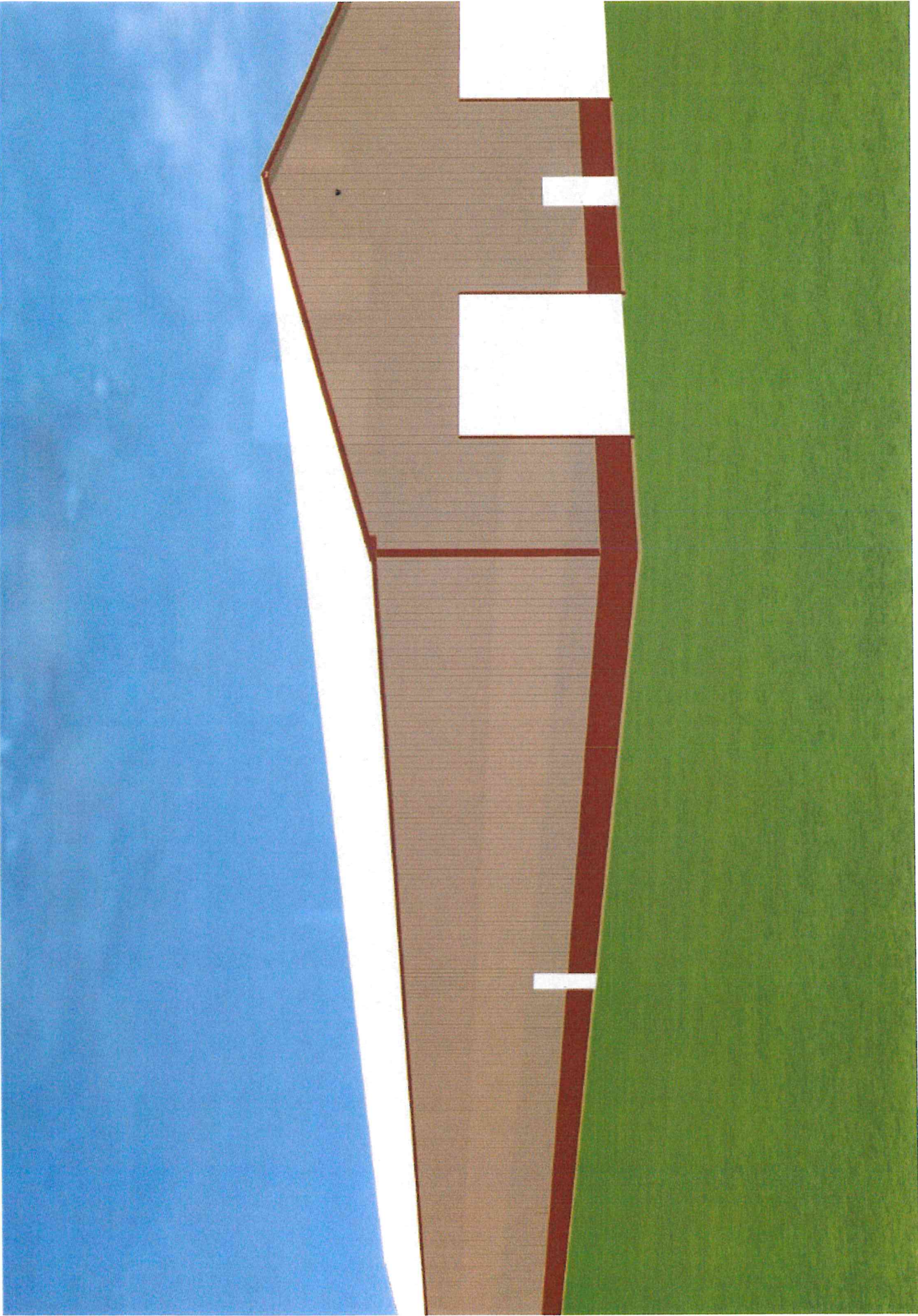
QUAM ENGINEERING, LLC

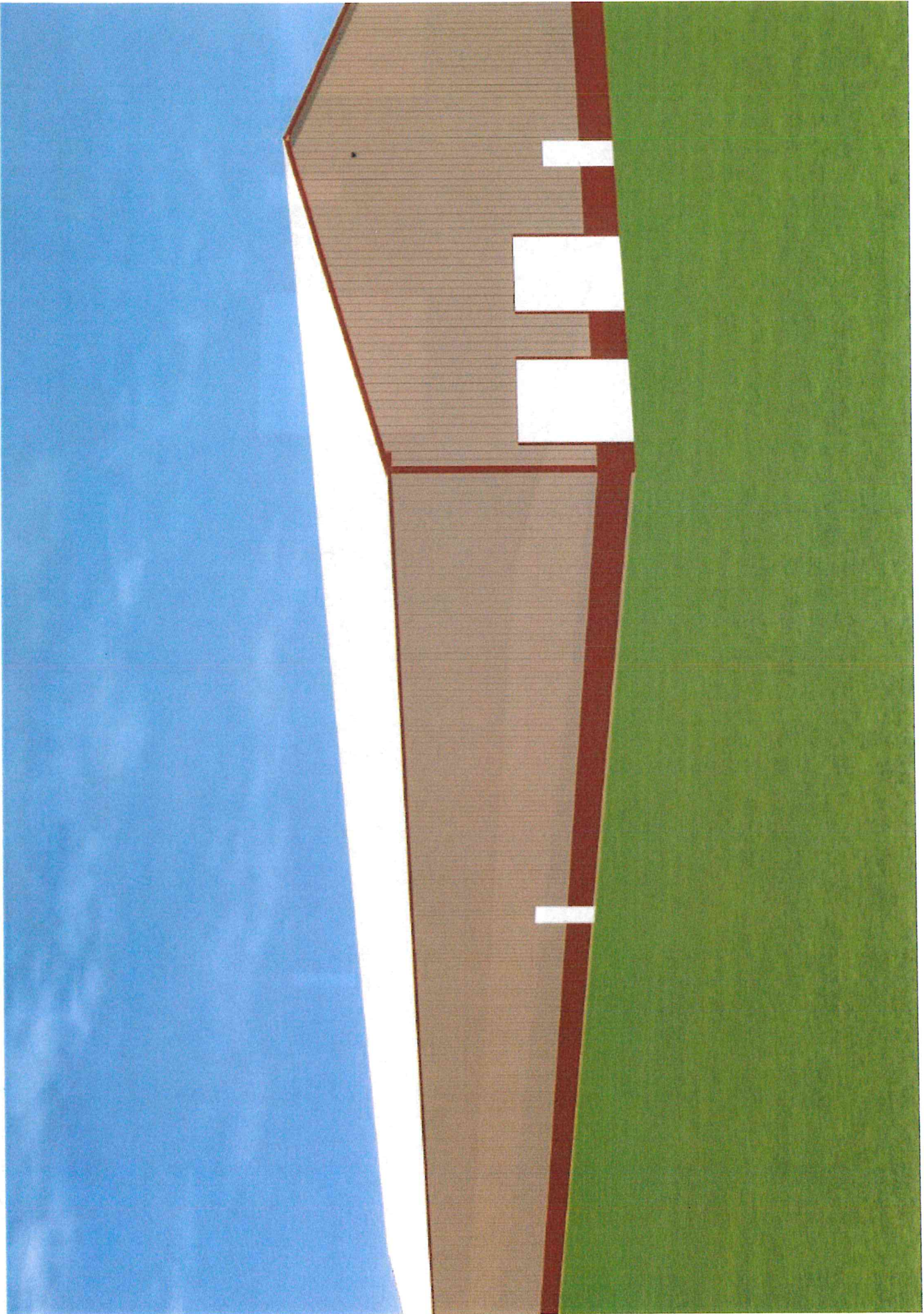
4604 Sigelkow Road, Suite A - McFarland, WI 53558

Phone: (608) 838-7750, Fax: (608) 838-7752

REF	QUANT	SIZE	COMMON NAME	ADDITIONAL	ADDITIONAL
1	1	12"	Black Oak Tree	Planting	100
2	1	12"	Black Oak Tree	Planting	100
3	1	12"	Black Oak Tree	Planting	100
4	1	12"	Black Oak Tree	Planting	100
5	1	12"	Black Oak Tree	Planting	100
6	1	12"	Black Oak Tree	Planting	100
7	1	12"	Black Oak Tree	Planting	100
8	1	12"	Black Oak Tree	Planting	100
9	1	12"	Black Oak Tree	Planting	100
10	1	12"	Black Oak Tree	Planting	100
11	1	12"	Black Oak Tree	Planting	100
12	1	12"	Black Oak Tree	Planting	100
13	1	12"	Black Oak Tree	Planting	100
14	1	12"	Black Oak Tree	Planting	100
15	1	12"	Black Oak Tree	Planting	100
16	1	12"	Black Oak Tree	Planting	100
17	1	12"	Black Oak Tree	Planting	100
18	1	12"	Black Oak Tree	Planting	100
19	1	12"	Black Oak Tree	Planting	100
20	1	12"	Black Oak Tree	Planting	100
21	1	12"	Black Oak Tree	Planting	100
22	1	12"	Black Oak Tree	Planting	100
23	1	12"	Black Oak Tree	Planting	100
24	1	12"	Black Oak Tree	Planting	100
25	1	12"	Black Oak Tree	Planting	100
26	1	12"	Black Oak Tree	Planting	100
27	1	12"	Black Oak Tree	Planting	100
28	1	12"	Black Oak Tree	Planting	100
29	1	12"	Black Oak Tree	Planting	100
30	1	12"	Black Oak Tree	Planting	100
31	1	12"	Black Oak Tree	Planting	100
32	1	12"	Black Oak Tree	Planting	100
33	1	12"	Black Oak Tree	Planting	100
34	1	12"	Black Oak Tree	Planting	100
35	1	12"	Black Oak Tree	Planting	100
36	1	12"	Black Oak Tree	Planting	100
37	1	12"	Black Oak Tree	Planting	100
38	1	12"	Black Oak Tree	Planting	100
39	1	12"	Black Oak Tree	Planting	100
40	1	12"	Black Oak Tree	Planting	100
41	1	12"	Black Oak Tree	Planting	100
42	1	12"	Black Oak Tree	Planting	100
43	1	12"	Black Oak Tree	Planting	100
44	1	12"	Black Oak Tree	Planting	100
45	1	12"	Black Oak Tree	Planting	100
46	1	12"	Black Oak Tree	Planting	100
47	1	12"	Black Oak Tree	Planting	100
48	1	12"	Black Oak Tree	Planting	100
49	1	12"	Black Oak Tree	Planting	100
50	1	12"	Black Oak Tree	Planting	100
51	1	12"	Black Oak Tree	Planting	100
52	1	12"	Black Oak Tree	Planting	100
53	1	12"	Black Oak Tree	Planting	100
54	1	12"	Black Oak Tree	Planting	100
55	1	12"	Black Oak Tree	Planting	100
56	1	12"	Black Oak Tree	Planting	100
57	1	12"	Black Oak Tree	Planting	100
58	1	12"	Black Oak Tree	Planting	100
59	1	12"	Black Oak Tree	Planting	100
60	1	12"	Black Oak Tree	Planting	100
61	1	12"	Black Oak Tree	Planting	100
62	1	12"	Black Oak Tree	Planting	100
63	1	12"	Black Oak Tree	Planting	100
64	1	12"	Black Oak Tree	Planting	100
65	1	12"	Black Oak Tree	Planting	100
66	1	12"	Black Oak Tree	Planting	100
67	1	12"	Black Oak Tree	Planting	100
68	1	12"	Black Oak Tree	Planting	100
69	1	12"	Black Oak Tree	Planting	100
70	1	12"	Black Oak Tree	Planting	100
71	1	12"	Black Oak Tree	Planting	100
72	1	12"	Black Oak Tree	Planting	100
73	1	12"	Black Oak Tree	Planting	100
74	1	12"	Black Oak Tree	Planting	100
75	1	12"	Black Oak Tree	Planting	100
76	1	12"	Black Oak Tree	Planting	100
77	1	12"	Black Oak Tree	Planting	100
78	1	12"	Black Oak Tree	Planting	100
79	1	12"	Black Oak Tree	Planting	100
80	1	12"	Black Oak Tree	Planting	100
81	1	12"	Black Oak Tree	Planting	100
82	1	12"	Black Oak Tree	Planting	100
83	1	12"	Black Oak Tree	Planting	100
84	1	12"	Black Oak Tree	Planting	100
85	1	12"	Black Oak Tree	Planting	100
86	1	12"	Black Oak Tree	Planting	100
87	1	12"	Black Oak Tree	Planting	100
88	1	12"	Black Oak Tree	Planting	100
89	1	12"	Black Oak Tree	Planting	100
90	1	12"	Black Oak Tree	Planting	100
91	1	12"	Black Oak Tree	Planting	100
92	1	12"	Black Oak Tree	Planting	100
93	1	12"	Black Oak Tree	Planting	100
94	1	12"	Black Oak Tree	Planting	100
95	1	12"	Black Oak Tree	Planting	100
96	1	12"	Black Oak Tree	Planting	100
97	1	12"	Black Oak Tree	Planting	100
98	1	12"	Black Oak Tree	Planting	100
99	1	12"	Black Oak Tree	Planting	100
100	1	12"	Black Oak Tree	Planting	100







Sec. 113-396. - Landscaping.

The village requires all new developments, including substantial exterior modifications of existing developments, to submit and have approved a landscape plan as specified in section 113-120. Approved landscape plans shall be completed within 12 months of an occupancy permit being granted, unless otherwise set forth in an agreement between the developer and the village.

(1) *Basic requirements.*

Requirement	R-4	C-1	C-2	C-M	M-1
Green space	55%	N/A	25%	25%	25%
Street trees every	35 ft	Note 1	50 ft	50 ft	50 ft
Front yard plantings	1 tree per unit	Note 1	4 trees per 100 feet of building	6 trees per 100 feet of building	6 trees per 100 feet of building
Front building corners	N/A	Note 1	Required	Required	Required
Front yard foundations	Required	Note 1	Required	Required	Required
Front yard building entry	Required	Note 1	Required	Required	Required
Landscaped parking islands	N/A	Required	Required	Required	N/A
Side yard foundation	Required	Note 1	Note 2	Note 2	N/A
Dumpster area	Required	Required	Required	Required	Required
Buffer to restrictive uses	N/A	Required Note 3	Required Note 3	Required Note 3	Required Note 3-4

Note 1: The plan commission may require landscaping dependent upon each development's specific circumstances.

Note 2: Required if abutting any residential land use.

Note 3: Required if abutting any residential land use.

Note 4: Required if abutting any commercial land use.

(2) *Requirement specifications.*

- a. *Green space.* Areas without structures, parking surfaces, patios, decks, pools, driveways, accessory structures and shall include lands in the conservancy, floodplain and shoreland zoning classifications. However, conservancy, floodplain and shoreland classified areas shall only comprise 30 percent of total green space required by this section.
- b. *Street trees.* See specification and requirements in chapter 12, article III.

(Prior Code, § 24.78(12))